

COUNTY OF SAN DIEGO - SITE PLAN
LAKESIDE RIVERWALK FIRE ADMINISTRATIVE AND EMERGENCY OPERATIONS FACILITY
LAKESIDE FIRE STATION 2



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Project:
Lakeside Riverwalk Fire
Administrative and
Emergency Operations
Facility

Lakeside Fire Station 2
Lakeside Ave. and
Channel Rd.

Description: Date:

Site Plan Submittal 7/27/09

Site Plan Submittal 10/2/09

Site Plan Submittal 12/3/09

Site Plan Submittal 12/15/09

NOT FOR
CONSTRUCTION

Project Number: 080701
Approved By: Approver
Checked By: Checker
Drawn By: Author

Sheet Title:
Cover Sheet

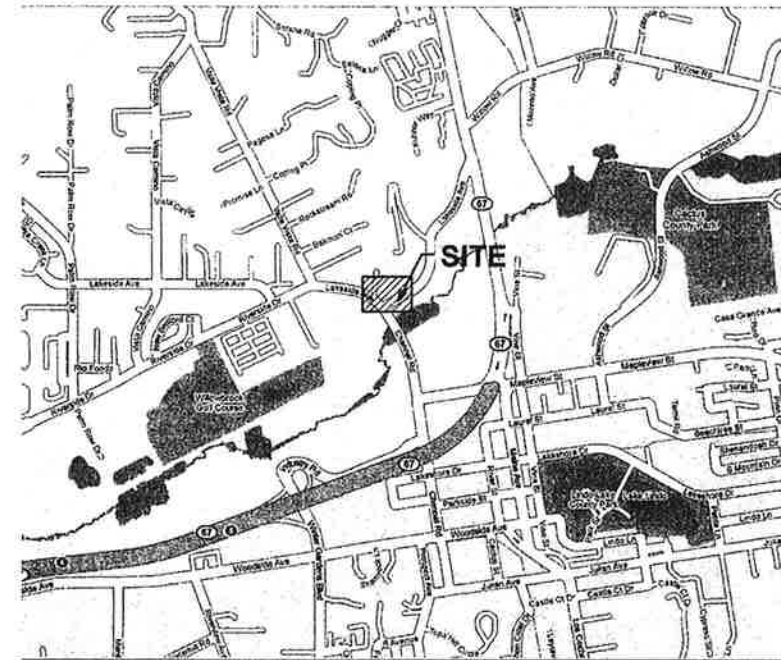
Sheets:
Sheet Number:

SITE INFORMATION:

- PROJECT ADDRESS:
TBD LAKESIDE AVENUE, LAKESIDE, CA 92040
- ASSESSORS PARCEL No.:
379-210-25; 379-210-24; 379-210-22; 379-130-34; 392-090-18 AND 392-090-14

PROPOSED SIGN STANDARD NOTES:
NOTE:

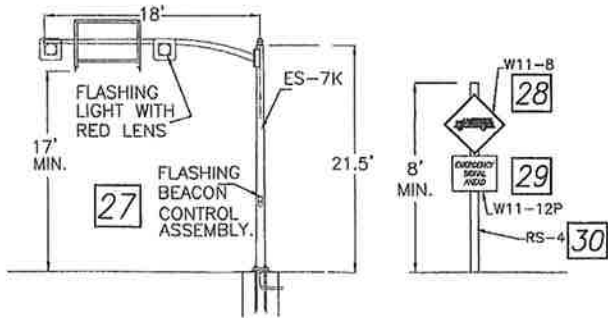
- EXISTING POSTED MAXIMUM SPEED SIGN FOR LAKESIDE AVENUE (WEST)/CHANNEL ROAD IS _____ M.P.H. AND LAKESIDE AVENUE (EAST) IS _____ M.P.H.
- SIGHT DISTANCE CALCULATION IS BASED ON SAN DIEGO COUNTY DESIGN STANDARD DS-20A AND DS-20B IN COMPLIANCE WITH THE DESIGN STANDARD OF SECTION 6.1E OF THE COUNTY OF SAN DIEGO PUBLIC ROAD STANDARDS.
- STREET "KEEP CLEAR" STRIPING
- EMERGENCY-VEHICLE TRAFFIC SIGNAL AND ASSOCIATED FIXTURES (ES-7K, EXACT SIGNAL SPECIFICATIONS TO BE DETERMINED) AND EMERGENCY SIGNAL SIGN (R10-13) TO BE INSTALLED PER CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2006, CALTRANS STANDARD PLANS (2006), STANDARD SPECIFICATIONS (2003) AND SPECIAL PROVISIONS (2006).
- EMERGENCY VEHICLE SIGN (W11-9) TO BE INSTALLED PER CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2006.
- EMERGENCY SIGNAL AHEAD PLAQUE (W11-12P) TO BE INSTALLED PER CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) 2006.
- ROADSIDE MULTIPLE SIGN INSTALLATION (RS4) TO BE INSTALLED PER STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS, MAY 2006.



VICINITY MAP

SCOPE OF WORK:

THE PROPOSED PROJECT IS FOR THE CONSTRUCTION OF A 19,046 SQUARE FOOT FIRE ADMINISTRATIVE AND EMERGENCY RESPONSE FACILITY AT THE NORTHWEST CORNER OF LAKESIDE AVE AND CHANNEL RD FOR THE LAKESIDE FIRE PROTECTION DISTRICT. THE PROJECT WILL REPLACE A CURRENT SINGLE FAMILY RESIDENCE WHICH IS LEGAL NON-CONFORMING. ADDITIONALLY IT WILL REQUIRE THE COMBINING OF SEVERAL SMALL PARCELS TO PROVIDE FOR AN ADEQUATE BUILDING SITE, ALONG WITH THE READJUSTMENT OF BOUNDRIES ON TWO OTHER ADJOINING RESIDENTIAL PARCELS. THE PROJECT IS ADJACENT TO THE NORTHERN BOUNDARY OF THE UPPER SAN DIEGO RIVER RDA (LIES WITH APPROXIMATELY 100 FEET).



PROPOSED SIGNS
NOT TO SCALE

SHEET INDEX:

- COVER SHEET
- SITE PLAN
- FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- ROOF PLAN
- ELEVATIONS
- C1 TITLE SHEET
- C2 DETAILS & NOTES
- C3 EXISTING TOPOGRAPHY
- C4 EXISTING BOUNDRY / EASEMENTS
- C5 PROPOSED BOUNDRY / EASEMENTS
- C6 GRADING PLAN
- C7 GRADING PLAN
- C8 STORM DRAIN PLAN
- C9 SEWER PLAN
- C10 WATER REALIGNMENT
- C11 WATER REALIGNMENT
- L-1 LANDSCAPE CONCEPT PLAN
- L-2 PLANT LEGEND
- E1 ELECTRICAL SITE PLAN
- E2 PHOTOMETRIC

GENERAL NOTES:

- SEWER: LAKESIDE SANITATION DISTRICT
- DRAINAGE DISTRICT: DISTRICT 6 (LAKESIDE)
- ELEMENTARY SCHOOL DISTRICT: LAKESIDE SCHOOL DISTRICT
- HIGH SCHOOL DISTRICT: GROSSMONT UNIFIED SCHOOL DISTRICT
- FIRE PROTECTION DISTRICT: LAKESIDE FIRE PROTECTION DISTRICT
- LOCAL PARK PLANNING AREA: LAKESIDE
- MSCP: INSIDE MSCP
- MUNICIPAL WATER DISTRICT: LAKESIDE WATER DISTRICT
- TAX RATE AREA: TAX RATE AREA 82215
- WATERSHED: SANTEE HYDROLOGIC SUB AREA

LOT AREA INFORMATION:

PARCEL	
379-210-25	AC
379-210-24	AC
379-210-22	AC
379-130-34	AC
379-090-018	AC
379-090-014	AC

ZONE	
USE REGULATIONS	ATO
ANIMAL REGULATIONS	L
DENSITY	1
LOT SIZE	1AC
BUILDING TYPE	C
MAXIMUM FLOOR AREA	-
FLOOR AREA RATIO	-
HEIGHT	G
LOT COVERAGE	-
SETBACK	C
OPEN SPACE	L
SPECIAL AREA REGULATIONS	-

OWNER:
LAKESIDE FIRE PROTECTION DISTRICT
12366 PARKSIDE STREET
LAKESIDE, CA 92040
PHONE (619) 672-2765 / FAX (619) 384-6358

ARCHITECT:
JEFF KATZ ARCHITECTURE
6553 DEL CERRO BLVD
SAN DIEGO, CA 92120
PHONE (619) 698-9177 / FAX (619) 698-9178
CONTACT: JEFF KATZ
jeff@jeffkatzarchitecture.com

CIVIL:
NASLAND ENGINEERING
4740 RUFFNER STREET
SAN DIEGO, CA 92111
PHONE (858) 292-7770 / FAX (858) 571-3241
CONTACT: BILL MOSER
billm@nasland.com

STRUCTURAL:
ORIE 2 ENGINEERING
9750 MIRAMAR ROAD, 310
SAN DIEGO, CA 92126
PHONE (858) 335-7843 / FAX (858) 451-6142
CONTACT: DON ORIE
dorie@orie2.com

MECHANICAL / PLUMBING:
McPARLANE & ASSOCIATES
4619 VIEWRIDGE AVENUE, C
SAN DIEGO, CA 92123-1639
PHONE (858) 277-9721
CONTACT: PAUL McPARLANE
paul@mcparlane.com

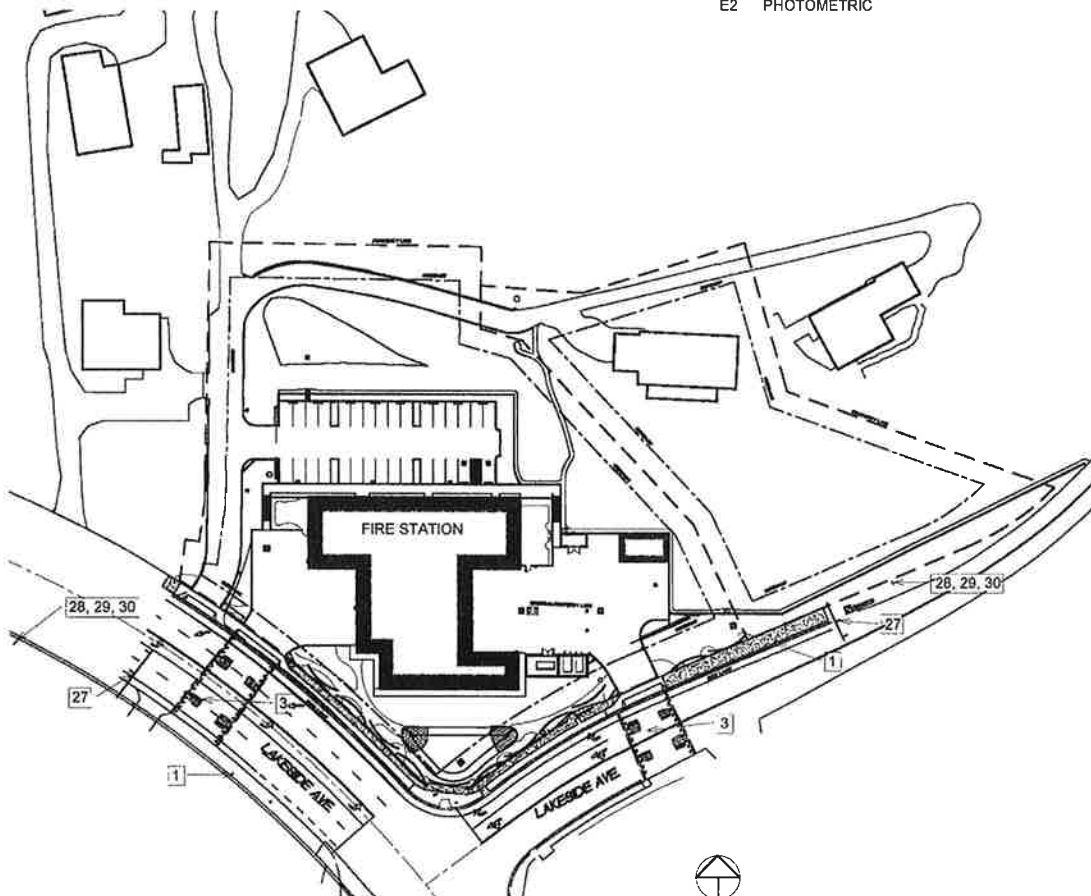
ELECTRICAL:
ELEN CONSULTING
5402 RUFFIN ROAD, 210A
SAN DIEGO, CA 92123
PHONE (619) 846-6918
CONTACT: TIM LOCKLEAR
tlocklear@elenconsulting.com

LANDSCAPE:
PARTERRE LANDSCAPE
1221 HAYES AVENUE
SAN DIEGO, CA 92103
PHONE (619) 298-3713 / FAX (619) 298-3702
CONTACT: LILI O'CONNOR
lil@parterre.com

TRAFFIC:
KOA CORPORATION
5095 MURPHY CANYON RD, SUITE 330
SAN DIEGO, CA 92123
PHONE (619) 683-2933 / FAX (619) 683-7982
CONTACT: MICHAEL SANDOR
msandor@koacorporation.com

NOISE:
ACOUSTICS & NOISE GROUP MANAGER
HELIX ENVIRONMENTAL PLANNING, INC.
7578 EL CAJON BLVD, SUITE 200
LA MESA, CA 91941
PHONE (619) 462-1515 ext. 284 / FAX (619) 462-0552
CONTACT: CHARLES TERRY
Charles@helixepi.com

GEO TECH:
GEOCON INCORPORATED
6960 FLANDERS DRIVE
SAN DIEGO, CA 92121-2974
PHONE (858) 558-6900 / FAX (858) 558-6159
CONTACT: ALI SADR, CEG
sadr@geoconline.com



LOCATION MAP

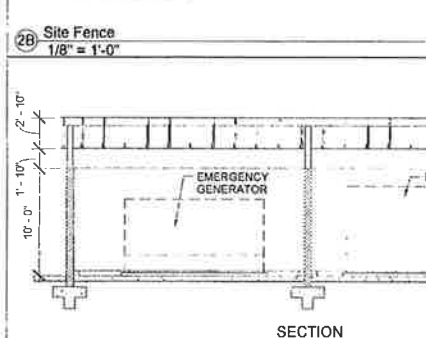
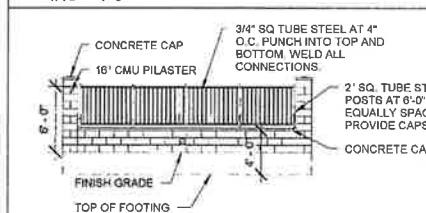
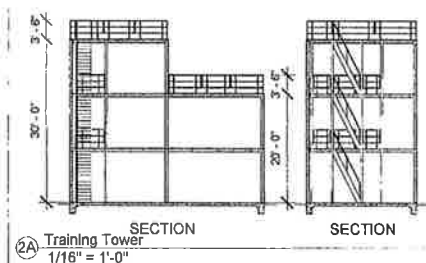


CONSTRUCTION NOTES:

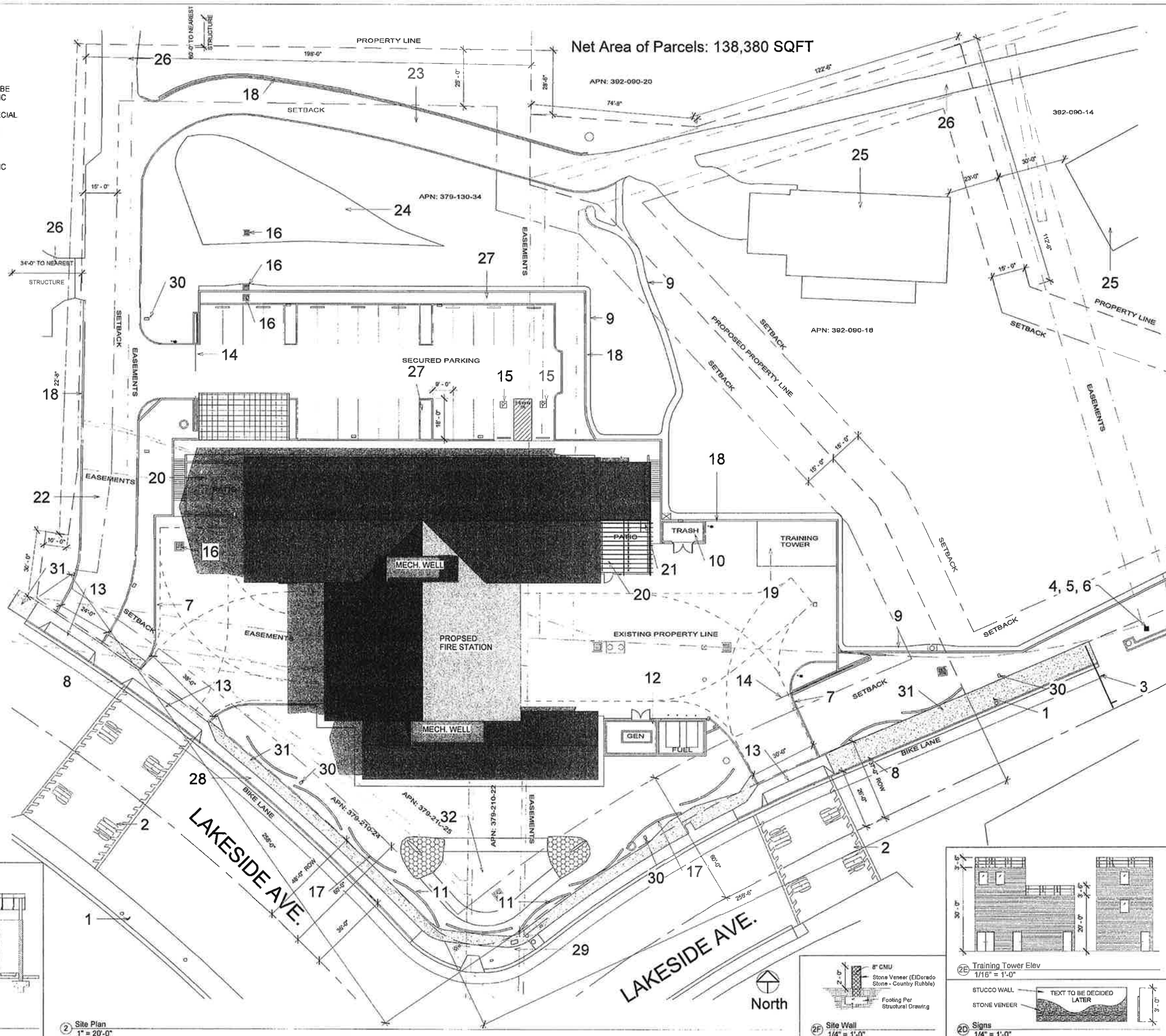
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6. ROADSIDE MULTIPLE SIGN INSTALLATION (RS4) TO BE INSTALLED PER STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION STANDARD PLANS, MAY 2006.
7. 6" CONCRETE CURB
8. CONCRETE GUTTER
9. DRAINAGE DITCH
10. TRASH / RECYCLING ENCLOSURE
11. MONUMENT SIGN
12. FUEL / GENERATOR ENCLOSURE
13. DRIVEWAY COMMERCIAL PER SDRSD G-14
14. WROUGHT IRON ROLLING GATE
15. ACCESSIBLE PARKING STALL
16. STORM DRAIN INLET
17. DECORATIVE SITE WALL, SEE 2F
18. RETAINING WALL
19. TRAINING TOWER
20. PATIO
21. BAR-B-QUE
22. 24'-0" WIDE DRIVEWAY
23. 16'-0" WIDE DRIVEWAY
24. LEVEL PAD
25. EXISTING HOUSE TO REMAIN
26. EXISTING DRIVEWAY TO REMAIN
27. PLANTER
28. CONCRETE SIDEWALK
29. EXISTING CONCRETE SIDEWALK
30. LIGHTING
31. DG PATHWAY
32. DRAINAGE BASIN

Structure Square Footage

Fire Station : 19,162 SQFT
Training Tower: 1,775 SQFT
Existing House: 2,600 SQFT
Existing House: 1,870 SQFT



2C Emergency Generator / Fuel
1/8" = 1'-0"



Net Area of Parcels: 138,380 SQFT



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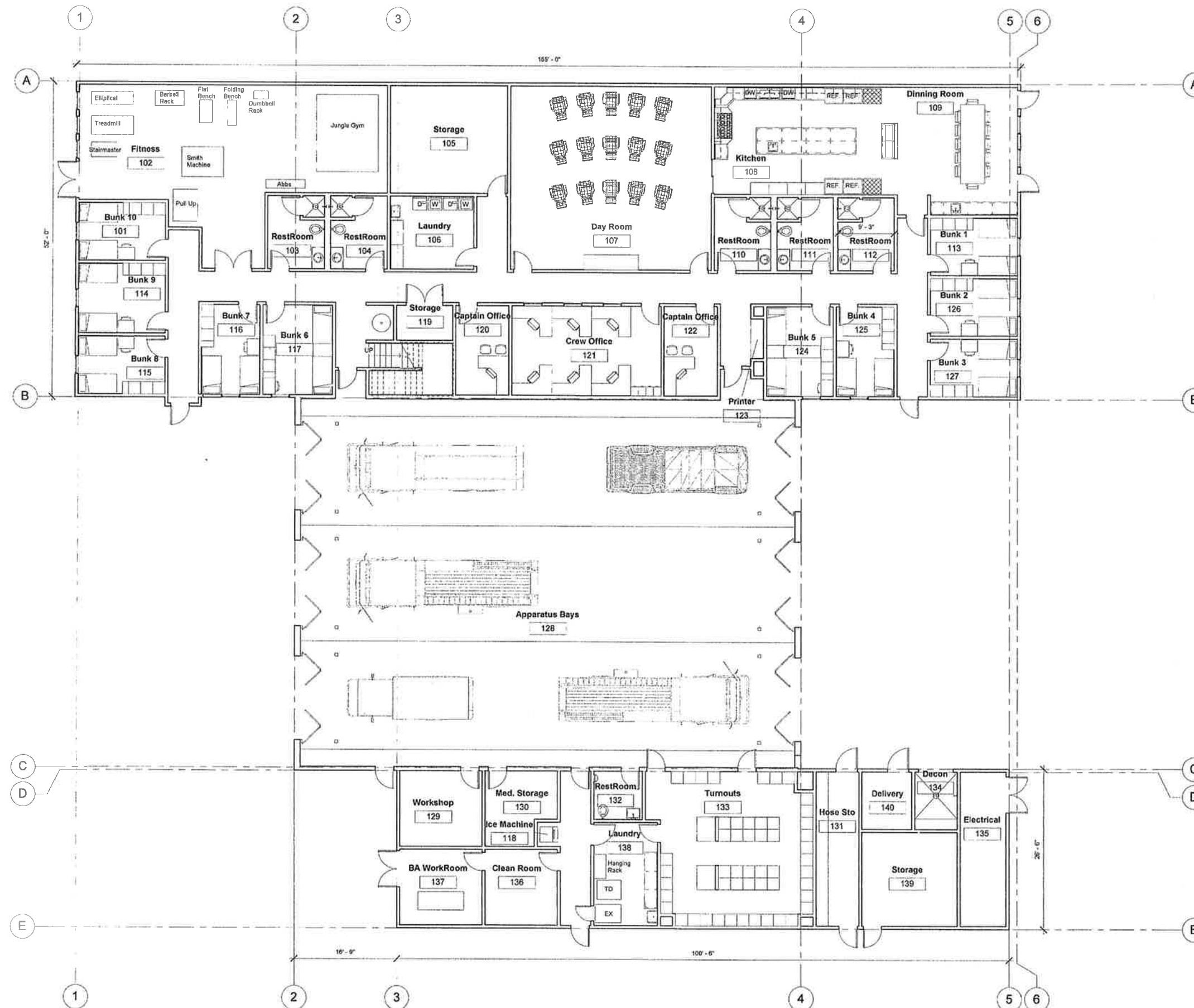
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Sheet Title:
Site Plan

Sheets:
Sheet Number:

2



Room Schedule		
Name	Number	Area
Bunk 10	101	135 SF
Fitness	102	1075 SF
RestRoom	103	95 SF
RestRoom	104	95 SF
Storage	105	342 SF
Laundry	106	165 SF
Day Room	107	998 SF
Kitchen	108	530 SF
Dinning Room	109	397 SF
RestRoom	110	95 SF
RestRoom	111	95 SF
RestRoom	112	95 SF
Bunk 1	113	135 SF
Bunk 9	114	164 SF
Bunk 8	115	135 SF
Bunk 7	116	140 SF
Bunk 6	117	167 SF
Ice Machine	118	15 SF
Storage	119	53 SF
Captain Office	120	128 SF
Crew Office	121	361 SF
Captain Office	122	129 SF
Printer	123	14 SF
Bunk 5	124	161 SF
Bunk 4	125	140 SF
Bunk 2	126	135 SF
Bunk 3	127	135 SF
Apparatus Bays	128	4971 SF
Workshop	129	169 SF
Med. Storage	130	130 SF
Hose Sto	131	179 SF
RestRoom	132	64 SF
Turnouts	133	633 SF
Decon	134	69 SF
Electrical	135	191 SF
Clean Room	136	147 SF
BA WorkRoom	137	169 SF
Laundry	138	179 SF
Storage	139	244 SF
Delivery	140	78 SF
Office	201	171 SF
Office	202	175 SF
Office	203	150 SF
Office	204	150 SF
Office	205	175 SF
Office	206	150 SF
Office	207	150 SF
Reception	208	190 SF
Lobby	209	433 SF
Board Office	210	175 SF
AV Room	211	64 SF
Office	212	171 SF
Office	213	171 SF
Conference Room	214	276 SF
Break Room	215	183 SF
File Storage	216	123 SF
Tel / Data	217	129 SF
Plan Check	218	123 SF
Copy	219	168 SF
Chief's Office	220	299 SF
Office	221	307 SF
File Storage	222	53 SF
Mechanical	223	106 SF
Storage	224	95 SF
Shower	225	110 SF
Women's Room	226	134 SF
Men's Room	227	164 SF
Chair Storage	228	133 SF
Board Room	229	1092 SF
Balcony	230	604 SF

Total Gross Area 19,162 SF
Max Building Height 34'-0"



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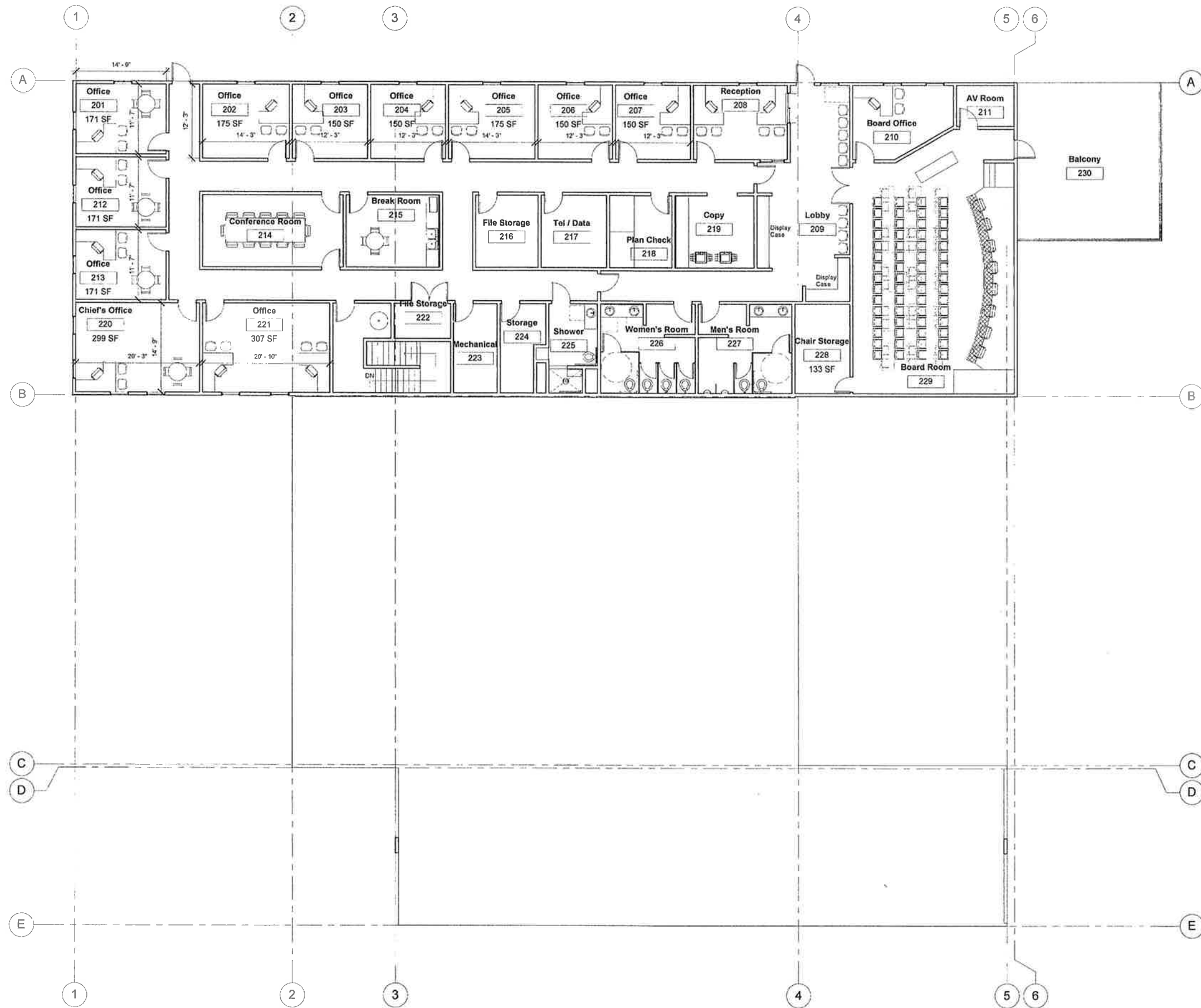
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Sheet Title:
First Floor Plan

Sheets:
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3 First Floor Plan
1/8" = 1'-0"



④ Second Floor Plan
1/8" = 1'-0"



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Sheet Title:
**Second Floor
Plan**

Sheets:
Sheet Number:



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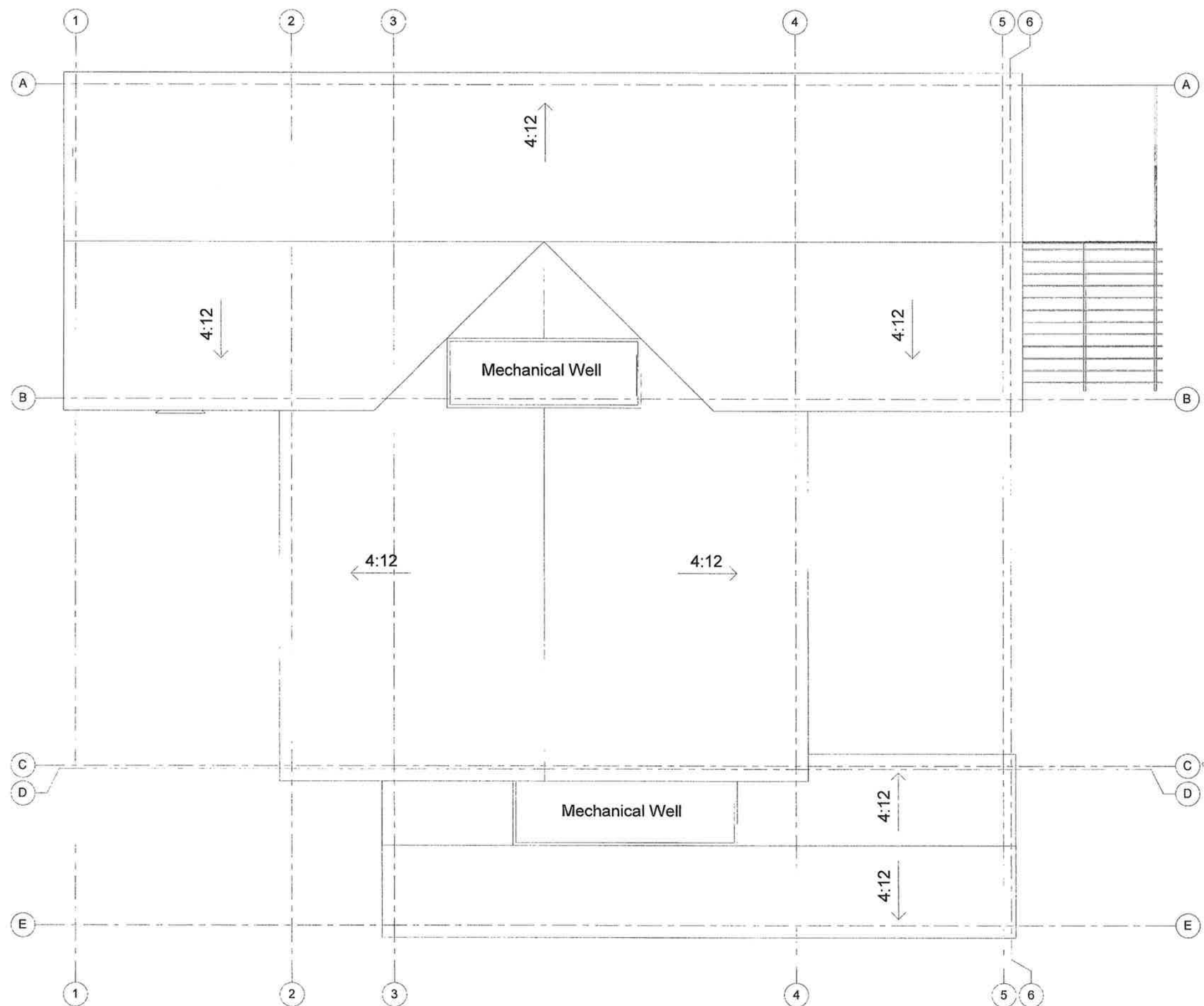
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Sheet Title:

Roof Plan

Sheets:
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5



5 Roof Plan
1/8" = 1'-0"



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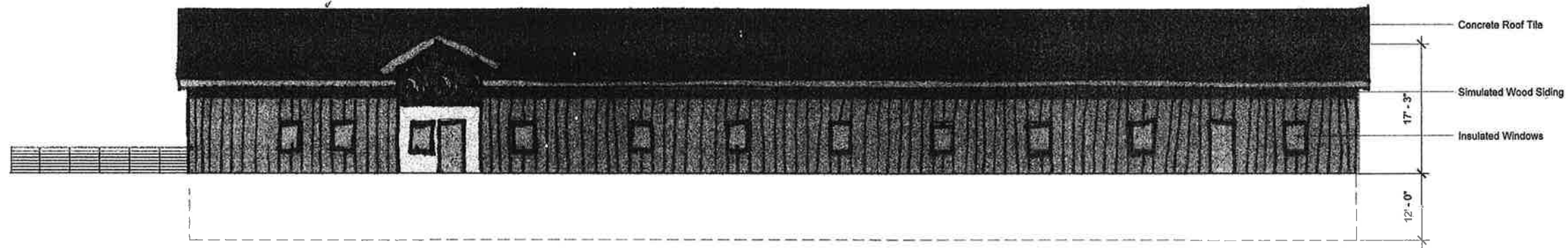
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Sheet Title:
Elevations

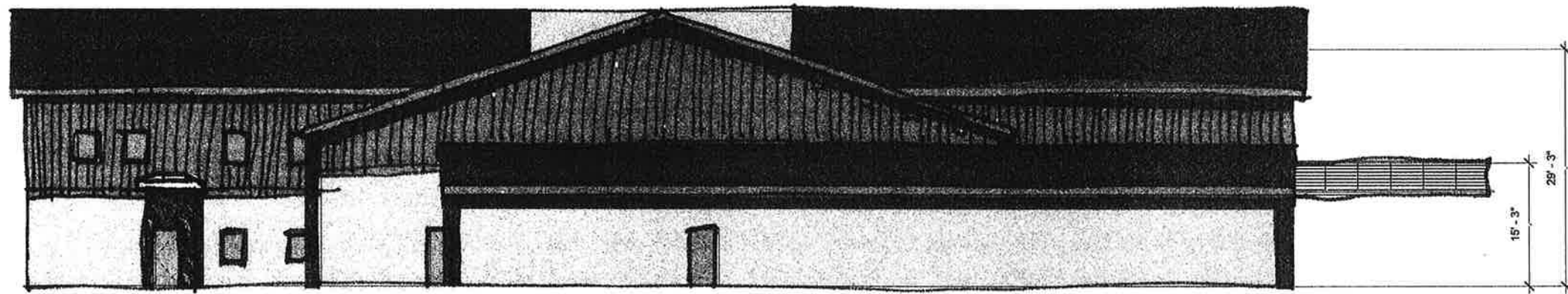
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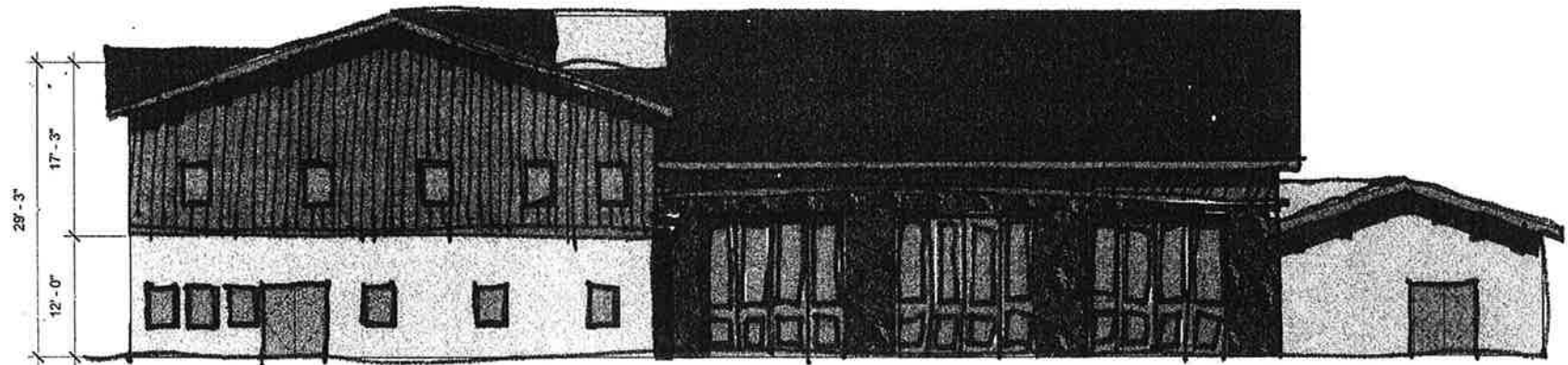
NORTH



EAST



SOUTH



WEST

SITE DEVELOPMENT PLAN FOR:

LAKESIDE FIRE STATION

GENERAL NOTES

1. APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
2. FINAL APPROVAL OF THESE GRADING PLANS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE, FINAL CURB ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
3. IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
4. ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS.
5. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:

SAN DIEGO GAS & ELECTRIC: 1-800-422-4133
PACIFIC BELL TELEPHONE: 1-800-422-4133
CABLE TELEVISION: 1-800-422-4133
WATER:
STORM DRAIN: COUNTY OF SAN DIEGO 1-858-565-5981
6. A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
7. APPROVAL OF THESE PLANS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED.
8. THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE ITEMS COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER EXPANSIVE SOIL IS MADE OR IMPLIED (SECTIONS 87.403 & 87.410). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING AND LAND USE.
9. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 AM AND 6:00 PM EACH DAY, MONDAY THRU SATURDAY, AND NO EARTH MOVING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR HOLIDAYS.
10. ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
11. NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJOINING PUBLIC STREET, SIDEWALK ALLEY, FUNCTION OF ANY SEWAGE DISPOSAL SYSTEM, OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION SILTING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH DAMAGE ADJACENT PROPERTY.
13. SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
14. ALL GRADING DETAILS WILL BE IN ACCORDANCE WITH SAN DIEGO COUNTY STANDARD DRAWINGS DS-8, DS-10, DS-11, AND D-75.
15. THE CONSTRUCTION OF ONE PCC STANDARD DRIVEWAY PER LOT, LOCATION TO BE DETERMINED IN THE FIELD BY THE ENGINEER OF WORK. PCC SURFACING OF DRIVEWAY TO EXTEND FROM CURB TO PROPERTY LINE. SEE STANDARD DRAWINGS G-14, G-15, G-16.
16. ALL CUT AND FILL SLOPES OVER THREE (3) FEET CREATED BY GRADING FOR STREETS AND DRIVEWAYS SHALL BE HYDROSEEDDED WITH SAN DIEGO COUNTY APPROVED HYDROSEED MIXTURE. HYDROSEEDDED SLOPES SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSING OVERRIDE DEVICE ATTACHED TO THE CONTROLLER FOR WATER CONSERVATION PURPOSES UNTIL THE MIXTURE GERMINATES AND GROWTH IS ESTABLISHED.

PROJECT ENGINEER'S NOTE TO CONTRACTOR

THE LOCATIONS OF ANY UNDERGROUND STRUCTURES AS SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT ALL UNDERGROUND OR OVERHEAD STRUCTURES WHETHER SHOWN OR NOT ON THESE DRAWINGS.

NOTICE

THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

IMPORTANT NOTICE

SECTION 4215/4217 OF THE PERMIT/APPROVAL BY THE GOVERNMENT CODE REQUIRES THAT A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. PER YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT

TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG.

ENGINEER'S NOTE

UNAUTHORIZED CHANGES & USES: THE ENGINEER OF WORK PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

SOURCE OF TOPOGRAPHY

AERIAL TOPOGRAPHIC SURVEY BY SA-NLO AERIAL SURVEYS, DATED JAN. 12, 2009, JOB NO. 13309.

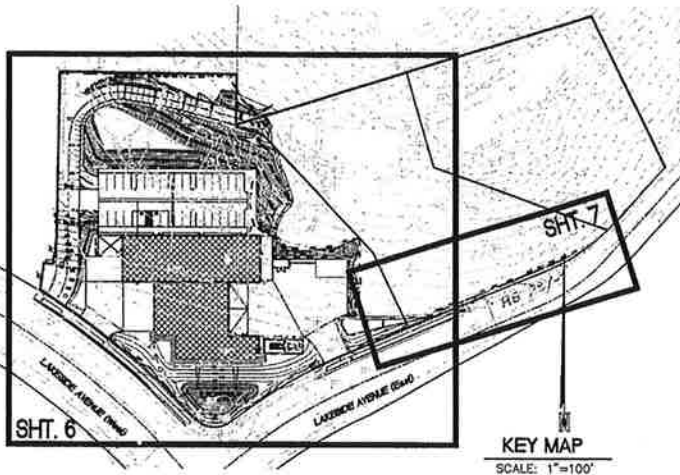
OWNER'S CERTIFICATE

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS. IT IS FURTHER AGREED THAT THE DEVELOPER SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATION, OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PUBLIC WORKS DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS. IT IS FURTHER AGREED TO COMMENCE WORK ON ANY IMPROVEMENTS SHOWN ON THESE PLANS WITHIN 60 DAYS AFTER ISSUANCE OF CONSTRUCTION PERMIT AND TO PURSUE SUCH WORK ACTIVELY ON EVERY NORMAL WORKING DAY UNTIL COMPLETED. IRRESPECTIVE AND INDEPENDENT OF ANY OTHER WORK ASSOCIATED WITH THIS PROJECT UNDER MY CONTROL.

BY: _____ DATE: _____
SIGNATURE TITLE

BY: _____ DATE: _____
OWNER

NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
4740 Ruffner Street, San Diego, California, 92111 • 858-292-7770
DESIGNED BY: ROBERT C. HAYNES SCALE: AS NOTED
DRAWN BY: ROBERT C. HAYNES JOB NO: 100-0732



NOTE:

PRE-CONSTRUCTION BIOLOGICAL SURVEY TO BE PERFORMED PRIOR TO ANY CLEARING AND GRUBBING OPERATIONS.

SOILS ENGINEER'S CERTIFICATION

WE HEREBY CERTIFY THAT WE HAVE PROVIDED PROFESSIONAL TESTING AND APPROVAL CONCERNING THE PREPARATION OF GROUND TO RECEIVE FILLS, TESTING FOR REQUIRED COMPACTION, STABILITY OF ALL FINISH SLOPES, DESIGN OF BUTTRESS FILLS WHERE REQUIRED, THE ADEQUACY OF THE NATURAL GROUND FOR RECEIVING FILL, THE STABILITY OF CUT SLOPES WITH RESPECT TO GEOLOGICAL MATTERS AND THE NEED FOR SUBDRAINS AND OTHER GROUNDWATER DRAINAGE DEVICES, AND THAT THESE GRADING PLANS ACCURATELY REFLECT ALL CONDITIONS AND CONSTRUCTION RECOMMENDATIONS PREPARED FOR THIS PROJECT.

DATE _____

SOILS ENGINEER OF RECORD: _____

ENGINEERING GEOLOGIST OF RECORD: _____

PRELIMINARY GRADING PLAN NOTE:

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN A VALID GRADING PERMIT BEFORE COMMENCING SUCH ACTIVITY.

GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE, 2000 EDITION.
2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY COUNTY OF SAN DIEGO'S GRADING ORDINANCE, SECTION'S 87.417 AND 87.418 WITHIN DIVISION 7 (GRADING, CLEARING AND WATERCOURSES).
3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL.

EARTHWORK QUANTITIES

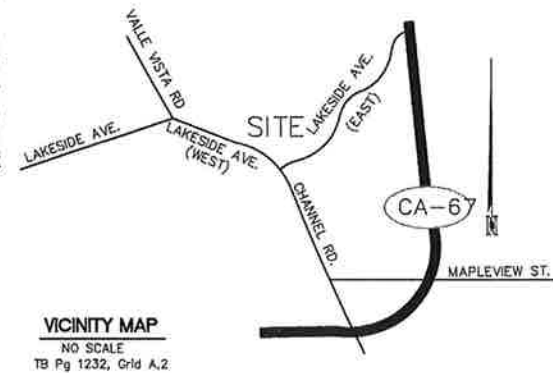
CUT = 13,000 CY

FILL = 2,000 CY

EXPORT = 11,000 CY

NOTE: EARTHWORK QUANTITIES DO NOT REFLECT ANY SPECIAL CONDITIONS THAT MAY BE SPECIFIED IN THE PRELIMINARY SOILS REPORT AND ARE FOR REFERENCE ONLY. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITION OVER THE ENTIRE SITE, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTHWORK QUANTITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HIS OWN EARTHWORK QUANTITIES FOR BIDDING, CONTRACT, AND CONSTRUCTION PURPOSES.

ALPINE FIRE DEPARTMENT	
SIGNATURE _____	DATE _____



SHEET INDEX

DESCRIPTION	SHEET(S)
TITLE SHEET	1
DETAILS & NOTES	2
EXISTING TOPOGRAPHY	3
EXISTING BOUNDARY/ EASEMENTS	4
PROPOSED BOUNDARY/ EASEMENTS	5
GRADING PLAN	6 - 7
STORM DRAIN PLAN	8
SEWER PLAN	9
WATER PLAN	10 - 11

PERMITTEE/OWNER

OWNER NAME: LAKESIDE FIRE PROTECTION DISTRICT
ADDRESS: 12365 PARKSIDE STREET
LAKESIDE, CA 92040
OWNER/REP. NAME: GEORGE TOCKSTEIN
PHONE NUMBER: (619) 672-2765
FAX NUMBER: (619) 384-6358

SITE ADDRESS

NAME: LAKESIDE FIRE STATION
ADDRESS: LAKESIDE AVENUE AT CHANNEL ROAD
LAKESIDE, CALIFORNIA

ENGINEER OF WORK

NAME: NASLAND ENGINEERING
ADDRESS: 4740 RUFFNER STREET
SAN DIEGO, CALIFORNIA
PHONE: (858)292-7770

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE COUNTY OF SAN DIEGO IS CONFINED TO REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN

DATE: _____

NASLAND ENGINEERING
4740 RUFFNER STREET
SAN DIEGO, CALIFORNIA 92111
(858) 292-7770

BY: _____ EXPIRES 12/31/09
ROBERT C. HAYNES RCE No 25593

NOTE: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



WORK TO BE DONE

GRADING AND DRAINAGE WORK CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT SAN DIEGO AREA REGIONAL STANDARD DRAWINGS, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, APRIL 2006 EDITION AND PER THE SAN DIEGO COUNTY ORDINANCE.

STANDARD DRAWINGS

SAN DIEGO REIONAL STANDARD DRAWINGS (S.D.R.S.D), APRIL, 2006 EDITION.

LEGEND

ITEM	STD	SYMBOL
PROPOSED BOUNDARY	---	---
EXISTING STREET RIGHT OF WAY	---	---
EXISTING STREET CENTERLINE	---	---
EXISTING MAJOR CONTOUR	---	---
EXISTING MINOR CONTOUR	---	---
EXISTING SOPT ELEVATION	---	---
PROPOSED MAJOR CONTOUR	---	---
PROPOSED MINOR CONTOUR	---	---
PROPOSED RETAINING WALL	---	---
PROPOSED 6" CURB	---	---
PROPOSED BUILDING	---	---
PROPOSED CONCRETE SURFACE	---	---
PROPOSED AC PAVEMENT PER SOILS ENGINEER	---	---
BROW DITCH	---	---
EXISTING SEWER MAN HOLE	---	---
EXISTING SEWER LINE	---	---
EXISTING WATER LINE	---	---
PROPOSED WATER LINE	---	---
PROPOSED PRIVATE WATER LATERAL	---	---
PROPOSED FIRE HYDRANT ASSEMBLY	---	---
PROPOSED 2" AUTOMATIC AIR RELEASE AND AIR/VACUUM VALVE	---	---
PROPOSED 2" WATER SERVICE	---	---
PROPOSED IRRIGATION SERVICE, METER AND BACKFLOW DEVICE	---	---
PROPOSED GATE VALVE	---	---
EXISTING STORM DRAIN PIPE	---	---
EXISTING STORM DRAIN MAN HOLE	---	---
EXISTING INLET	---	---
PROPOSED CATCH BASIN	---	---
PROPOSED STORM DRAIN PIPE	---	---
PROPOSED CLEANOUT (S-17)	---	---
PROPOSED CURB INLET	---	---
PROPOSED CATCH BASIN (TYPE "F")	---	---
PROPOSED CLEANOUT (S-3)	---	---
6" PERFORATED PIPE	---	---

PERMITS		PRIVATE CONTRACT	
SITE PLAN No. S-914	MAJOR USE PERMIT No.	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	11 SHEETS
TENTATIVE MAP No.	ADMINISTRATIVE PERMIT No.	TITLE SHEET	
CURB GRADE NOT		LAKESIDE FIRE STATION	
BENCH MARK		CALIFORNIA COORDINATE INDEX: 254-1791	
USCGS DISK STAMPED R-201		OWNER OF WORK: ROBERT C. HAYNES	
LOCATION: N. END HWY 67 BRIDGE CROSSING SAN DIEGO RIVER		RCE 25593 EXP. 12-31-09	
N. END HWY 67 BRIDGE CROSSING SAN DIEGO RIVER		L 15534	
RECORD FROM: SAN DIEGO COUNTY		CHANGING PERMIT NO.	
ELEVATION: 413.67' DATUM: MSL(MVD)29			

PRELIMINARY - NOT FOR CONSTRUCTION

Engineer's Name: Nasland Engineering
Phone No.: 858-292-7770

STORMWATER PROTECTION NOTES

1. DURING THE RAINY SEASON THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY THE PROPERTY OWNER IN THE EVENT OF A RAINSTORM. 125% OF ALL SUPPLIES NEEDED FOR BMP (BEST MANAGEMENT PRACTICES) MEASURES SHALL BE RETAINED ON THE JOB SITE IN A MANNER THAT ALLOWS FULL DEPLOYMENT AND COMPLETE INSTALLATION IN 48 HOURS OR LESS OF A FORECAST RAIN.
2. NO AREA BEING DISTURBED SHALL EXCEED 50 ACRES AT ANY GIVEN TIME WITHOUT DEMONSTRATING TO THE SAN DIEGO COUNTY DPW DIRECTOR'S SATISFACTION THAT ADEQUATE EROSION AND SEDIMENT CONTROL CAN BE MAINTAINED ANY DISTURBED AREA THAT IS NOT ACTIVELY GRADED FOR 10 DAYS MUST BE FULLY PROTECTED FROM EROSION. UNTIL ADEQUATE LONG-TERM PROTECTIONS ARE INSTALLED, THE DISTURBED AREA SHALL BE INCLUDED WHEN CALCULATING THE ACTIVE DISTURBANCE AREA. ALL EROSION CONTROL MEASURES SHALL REMAIN INSTALLED AND MAINTAINED DURING ANY INACTIVE PERIOD.
3. THE PROPERTY OWNER IS OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORM WATER REGULATIONS AT ALL TIMES. THE BMP'S THAT HAVE BEEN INCORPORATED INTO THIS PLAN SHALL BE IMPLEMENTED AND MAINTAINED TO EFFECTIVELY PREVENT THE POTENTIALLY NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE MAINTENANCE OF THE BMP'S IS THE PERMITTEE'S RESPONSIBILITY, AND FAILURE TO PROPERLY INSTALL OR MAINTAIN THE BMP'S MAY RESULT IN ENFORCEMENT ACTION BY THE COUNTY OF SAN DIEGO OR OTHERS. IF INSTALLED BMP'S FAIL, THEY MUST BE REPAIRED OR REPLACED WITH AN ACCEPTABLE ALTERNATE WITHIN 24 HOURS, OR AS SOON AS SAFE TO DO SO.
4. ON PROJECTS OF GREATER THAN 1 ACRE, A NOTICE OF INTENT (NOI) MUST BE FILED WITH THE STATE WATER RESOURCES CONTROL BOARD (SWRCB) AND A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF CALIFORNIA GENERAL PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY (PERMIT NO. CAS000002) FOR ALL OPERATIONS ASSOCIATED WITH THESE PLANS. IF APPLICABLE, THE NOI NUMBER ASSIGNED BY SWRCB FOR THIS PROJECT IS _____ AND THE PERMITTEE SHALL KEEP A COPY OF THE SWPPP ON SITE AND AVAILABLE FOR REVIEW BY COUNTY.

ADVISORY NOTE ON STORM WATER OBLIGATIONS

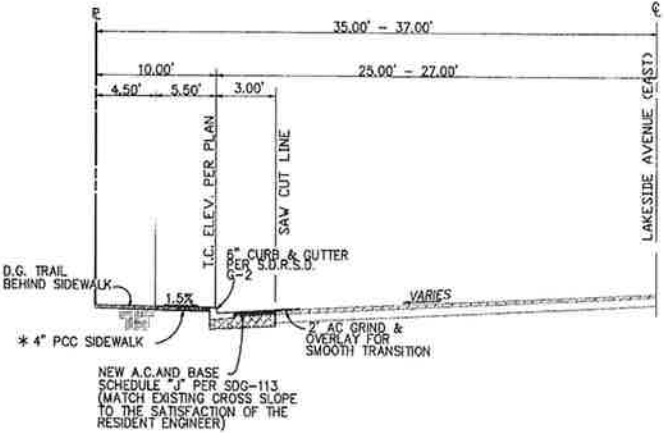
THE ACTIVITIES SHOWN ON THESE PLANS ARE SUBJECT TO ENFORCEMENT UNDER PERMITS FROM THE SAN DIEGO REGIONAL WATER CONTROL BOARD AND MUST ALSO COMPLY WITH THE REQUIREMENT OF THE SAN DIEGO COUNTY MUNICIPAL STORM WATER PERMIT. THIS INCLUDES REQUIREMENTS FOR MATERIALS AND WASTE CONTROL, EROSION CONTROL, AND SEDIMENT CONTROL ON PROJECT CONSTRUCTION SITES. THE PERMITTEES OF OPERATIONS SHOWN ON THESE PLANS ARE OBLIGATED TO INSURE COMPLIANCE WITH ALL APPLICABLE STORM WATER REGULATIONS AT ALL TIMES.

NOTICE: THE ISSUANCE OF THIS PERMIT/APPROVAL BY THE COUNTY OF SAN DIEGO DOES NOT AUTHORIZE THE APPLICANT FOR SAID PERMIT/APPROVAL TO VIOLATE ANY FEDERAL, STATE, OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT AND ANY AMENDMENTS THERETO.

SPECIAL NOTES

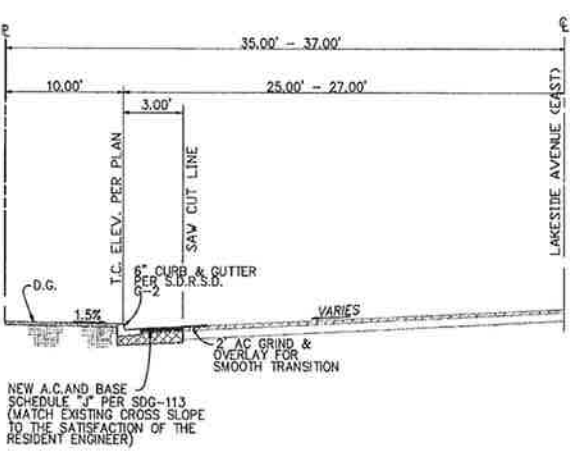
THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTORS SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, ENGINEER AND GEOLOGIST HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
- DURING CONSTRUCTION: THE CONTRACTOR SHALL PROPERLY GRADE ALL EXCAVATED SURFACES TO PROVIDE POSITIVE DRAINAGE AND PREVENT PONDING OF WATER. HE SHALL CONTROL SURFACE WATER TO AVOID DAMAGE TO ADJOINING PROPERTIES OR TO FINISHED WORK ON THE SITE.
- ALL WORK NEEDING MATERIALS TESTING REQUIRES THAT THE CONTRACTOR NOTIFY THE CITY MATERIALS LAB AT 463-0329 BY NOON THE DAY BEFORE THE WORK IS SCHEDULED TO BEGIN TO ARRANGE FOR TESTING.
- WORK PERFORMED WITHOUT BENEFIT OF TESTING AND/OR INSPECTION SHALL BE SUBJECT TO REJECTION AND REMOVAL.
- THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. ATTENTION IS CALLED TO THE POSSIBLE POSSIBLE EXISTENCE OF OTHER UTILITY FACILITIES OR STRUCTURES NOT KNOWN OR IN A LOCATION DIFFERENT FROM THAT SHOWN ON THE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLANS AND ANY OTHER EXISTING FACILITIES OR STRUCTURES THAT MAY NOT BE SHOWN.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN THE PROJECT SITE SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT THE REVISION OF THE CONSTRUCTION PLANS IF IT IS FOUND THE ACTUAL LOCATIONS ARE IN CONFLICT WITH THE PROPOSED WORK.
- NEITHER THE CITY NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.



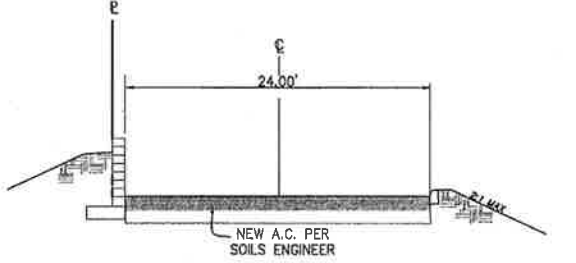
TYPICAL SECTION: LAKESIDE AVENUE (EAST)

N.T.S.
* EXISTING SIDEWALK FROM STA. 0+73.83 TO STA. 1+75.18
NEW SIDEWALK FROM STA. 1+75.18 TO STA. 2+21.27



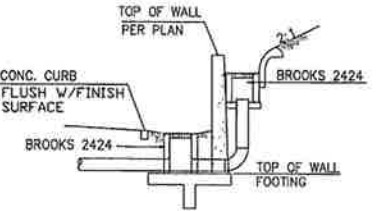
TYPICAL SECTION: LAKESIDE AVENUE (EAST)

N.T.S.
STA. 2+21.27 TO STA. 3+98.70

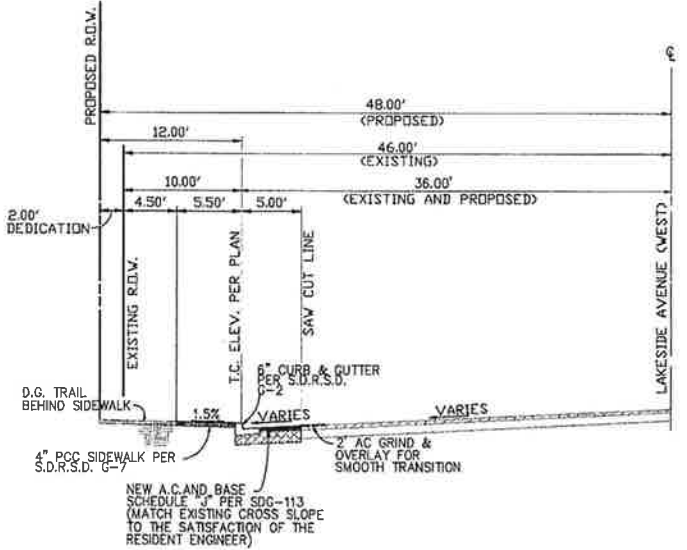


DRIVEWAY SECTION 'A'

N.T.S.
(SEE SHEET 4 FOR PLAN VIEW)

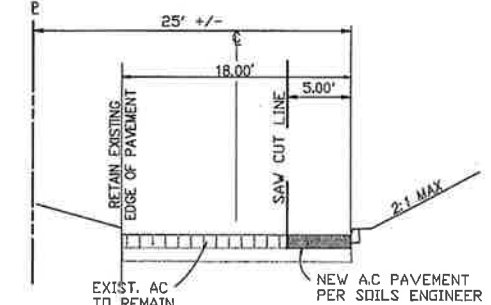


DETAIL A
N.T.S.
(SEE SHEET 7 FOR PLAN VIEW)



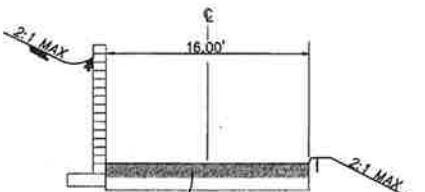
TYPICAL SECTION: LAKESIDE AVENUE (WEST)

N.T.S.



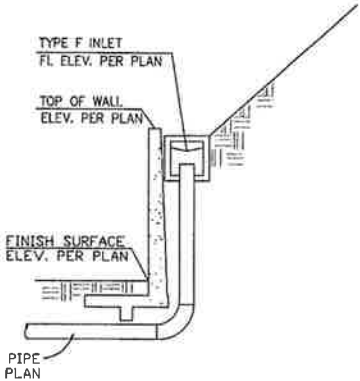
DRIVEWAY SECTION 'B'

N.T.S.
(SEE SHEET 5 FOR PLAN VIEW)



DRIVEWAY SECTION 'C'

N.T.S.
(SEE SHEET 5 FOR PLAN VIEW)



DETAIL B
N.T.S.
(SEE SHEET 7 FOR PLAN VIEW)

NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
4740 Ruffner Street, San Diego, California, 92111 • 858-292-7770

DESIGNED BY: ROBERT C. HAYNES
DRAWN BY: ROBERT C. HAYNES

SCALE: AS NOTED
JOB NO: 108-0752



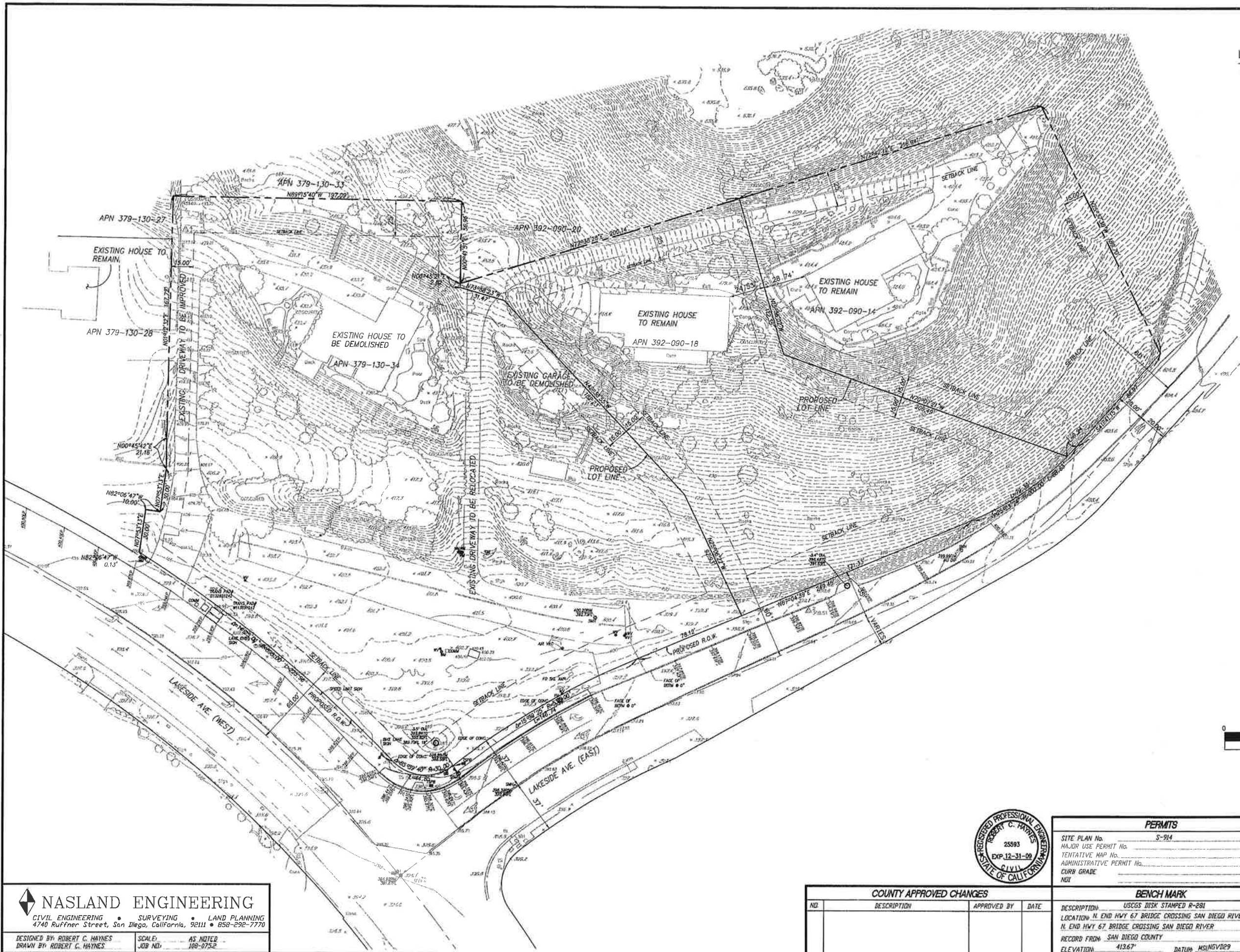
COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

PERMITS	
SITE PLAN No.	S-914
MAJOR USE PERMIT No.	
TENTATIVE MAP No.	
ADMINISTRATIVE PERMIT No.	
CURB GRADE	NOT
BENCH MARK	
DESCRIPTION:	USGS DISK STAMPED R-281
LOCATION:	N. END HWY 67 BRIDGE CROSSING SAN DIEGO RIVER
RECORD FROM:	SAN DIEGO COUNTY
ELEVATION:	413.67'
DATUM:	MSLNGV029

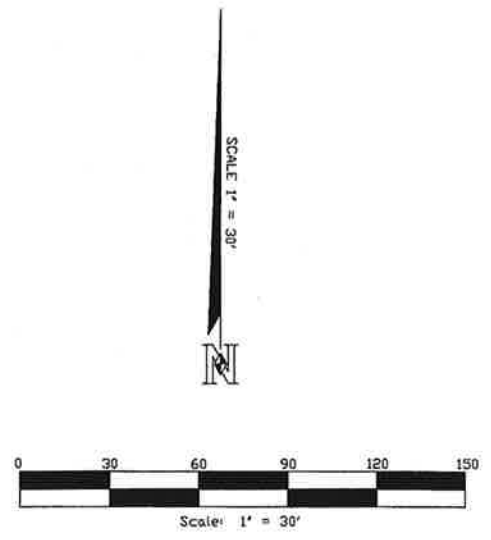
PRIVATE CONTRACT	
SHEET C-2	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS
11 SHEETS	
DETAILS & NOTES FOR:	
LAKESIDE FIRE STATION	
CALIFORNIA COORDINATE INDEX: 254-1791	
APPROVED SOUTHERN OF PUBLIC WORKS	ENGINEER OF WORK: ROBERT C. HAYNES
FILED 08/03/09	EXP. 12-31-09
L 15534	
GRADING PERMIT NO.	

PRELIMINARY - NOT FOR CONSTRUCTION

Engineer's Name: Nasland Engineering
Phone No: 858-292-7770



- LEGEND:
- PROPOSED BOUNDARY
 - EXISTING STREET RIGHT OF WAY
 - EXISTING STREET CENTERLINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING SOFT ELEVATION
 - EXISTING STORM DRAIN MAN HOLE
 - EXISTING INLET



NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
4740 Ruffner Street, San Diego, California, 92111 • 858-292-7770

DESIGNED BY: ROBERT C. HAYNES
DRAWN BY: ROBERT C. HAYNES

SCALE: AS NOTED
JOB NO: 108-9752



COUNTY APPROVED CHANGES			
NO.	DESCRIPTION	APPROVED BY	DATE

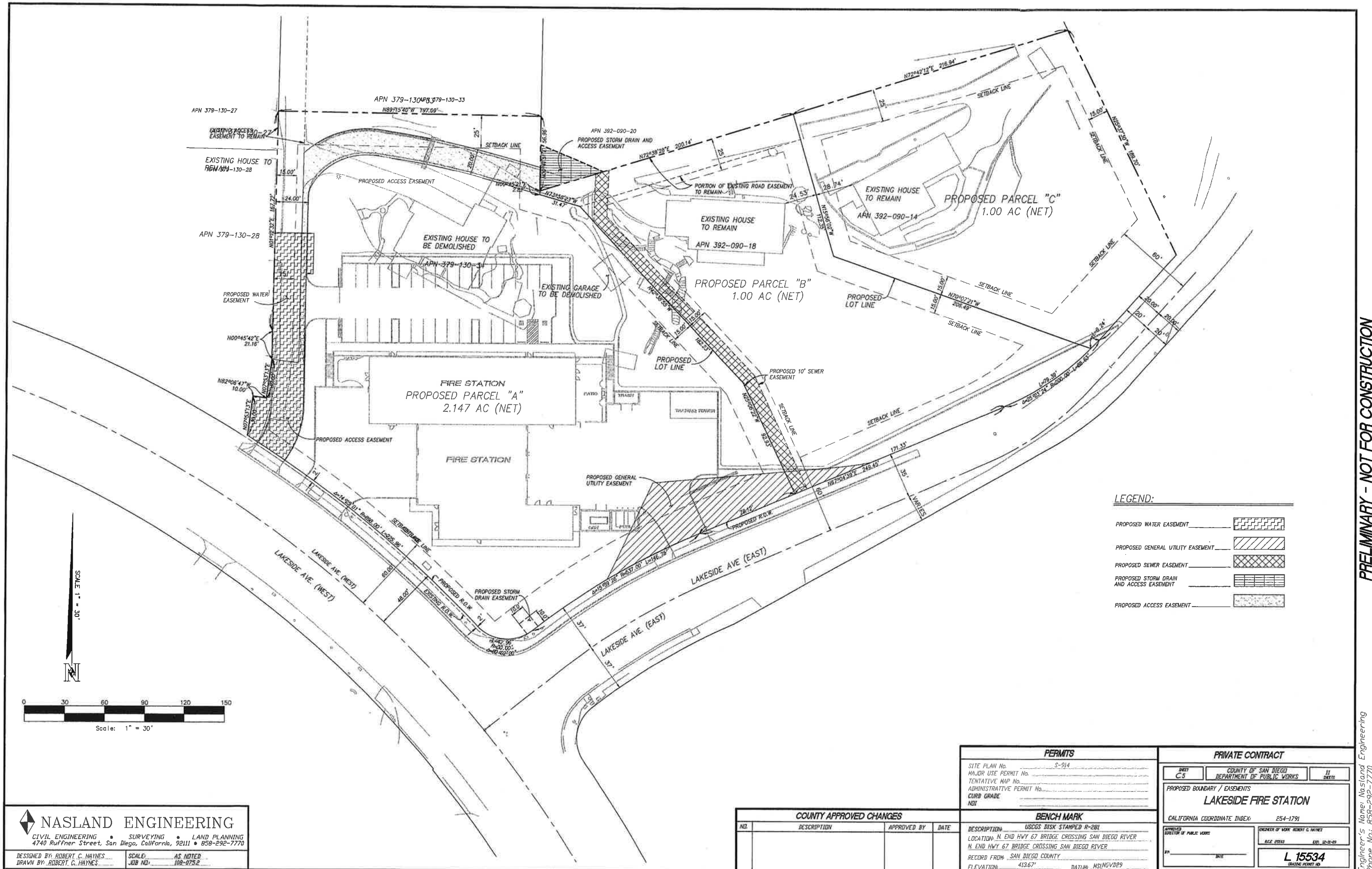
PERMITS	
SITE PLAN No.	S-914
MAJOR USE PERMIT No.	
TENTATIVE MAP No.	
ADMINISTRATIVE PERMIT No.	
CURB GRADE	NOI

BENCH MARK	
DESCRIPTION	USCGS DISK STAMPED R-281
LOCATION	N. END HWY 67 BRIDGE CROSSING SAN DIEGO RIVER
RECORD FROM	SAN DIEGO COUNTY
ELEVATION	413.67'
DATUM	NS/NGVD29

PRIVATE CONTRACT		
SHEET C3	COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS	11 SHEETS
EXISTING TOPOGRAPHY FOR: LAKESIDE FIRE STATION		
CALIFORNIA COORDINATE INDEX: 254-1791		
APPROVED DIRECTOR OF PUBLIC WORKS	DESIGNED BY: ROBERT C. HAYNES R.C.H. 25593 EXP. 12-31-99	
DATE		L 15534 GRADING PERMIT NO.

PRELIMINARY - NOT FOR CONSTRUCTION

Engineer's Name: Nasland Engineering
Phone No.: 858-292-7770



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